

DEVELOPMENT APPLICATION

SUBMITTED TO:
Canterbury-Bankstown Council

EPI:
Canterbury-Bankstown LEP 2023
Canterbury DCP 2012/2023

LEGAL DESCRIPTION:
Lot 30 DP 18209

LOT SIZE:
575.4m² BY TITLE
577.4m² BY CALC

STREET ADDRESS:
3 Nockolds Avenue, Punchbowl, 2196

PROPOSAL: Alterations and additions to existing single storey dwelling including garage subfloor and surrounding landscaping.

ARCHITECTURAL DRAWING LIST - DA		
SHEET NO.	SHEET NAME	REVISION
DA-000	COVER SHEET	A
DA-010	EXISTING SITE SURVEY	A
DA-020	PROPOSED SITE PLAN	A
DA-030	SITE ANALYSIS	A
DA-040	PROPOSED LANDSCAPE PLAN	A
DA-050	EXISTING GROUND FLOOR PLAN	A
DA-060	EXISTING NORTH AND SOUTH ELEVATIONS	A
DA-070	EXISTING EAST AND WEST ELEVATIONS	A
DA-080	PROPOSED GROUND FLOOR PLAN	F
DA-090	PROPOSED GARAGE SUBFLOOR PLAN	D
DA-100	PROPOSED NORTH AND SOUTH ELEVATION	A
DA-110	PROPOSED EAST AND WEST ELEVATIONS	A
DA-120	PROPOSED STREETScape ELEVATION	A
DA-130	PROPOSED SHORT AND LONG SECTION	A
DA-140	STORMWATER CONCEPT PLAN	A
DA-150	EROSION SEDIMENT CONTROL PLAN	A
DA-160	SHADOW DIAGRAMS	A
DA-170	SCHEDULE OF COLOURS AND FINISHES	A
DA-180	NEIGHBOUR NOTIFICATION PLAN 1	A
DA-190	NEIGHBOUR NOTIFICATION PLAN 2	A

SITE CALCULATIONS			
LOCATION		EXISTING	PROPOSED
SITE AREA		575.4m²	
FSR: GROSS FLOOR AREA		233.8m²	273m²
PRIVATE OPEN SPACE			
MINIMUM REQUIRED		PROPOSED	COMPLIANCE
24m²		67m²	YES
LANDSCAPED AREA			
REFER DA-040 PROPOSED LANDSCAPE PLAN FOR LANDSCAPING CALCULATIONS			
SETBACKS			
	EXISTING	PROPOSED	COMPLIANCE
NORTH REAR SETBACK MINIMUM: 6.0m	9.86m (PERP. TO CORNER OF EXTERNAL WALL)	10.38m (PERP. TO CORNER OF EXTERNAL WALL)	YES
WEST SIDE SETBACK MINIMUM: 0.9m	4.5m	1.5m	YES
EAST SIDE SETBACK MINIMUM: 0.9m	1.25m	1.25m	YES
SOUTH FRONT SETBACK MINIMUM: 5.5m	6.45m	6.45m	YES

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ALTERATIONS & ADDITIONS TO EXISTING SINGLE STOREY DWELLING INCLUDING GARAGE SUBFLOOR & SURROUNDING LANDSCAPING

Address:
3 NOCKOLDS AVENUE
PUNCHBOWL

CLIENT:
FAY DICANDILO

A	DA	24.09.24
Issue:	Revision:	Date:

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Drawing Title:
COVER SHEET

NAME: _____
SIGNATURE: _____
DATE: _____

DESIGNED BY: CG	SCALE: 1:100 / A3	JOB NO:	SHEET NO: DA-000
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

LEGEND:

	PROPOSED ADDITIONS
	LANDSCAPED AREA
	EXISTING DWELLING
	PROPOSED ROOF
	BOUNDARY
	DEMOLITION
	EXISTING NGL
	BOW BOTTOM OF WALL
	TOW TOP OF WALL
	RL REDUCED LEVEL
	FCL FINISHED CEILING LEVEL
	FFL FINISHED FLOOR LEVEL
	NGL NATURAL GROUND LEVEL

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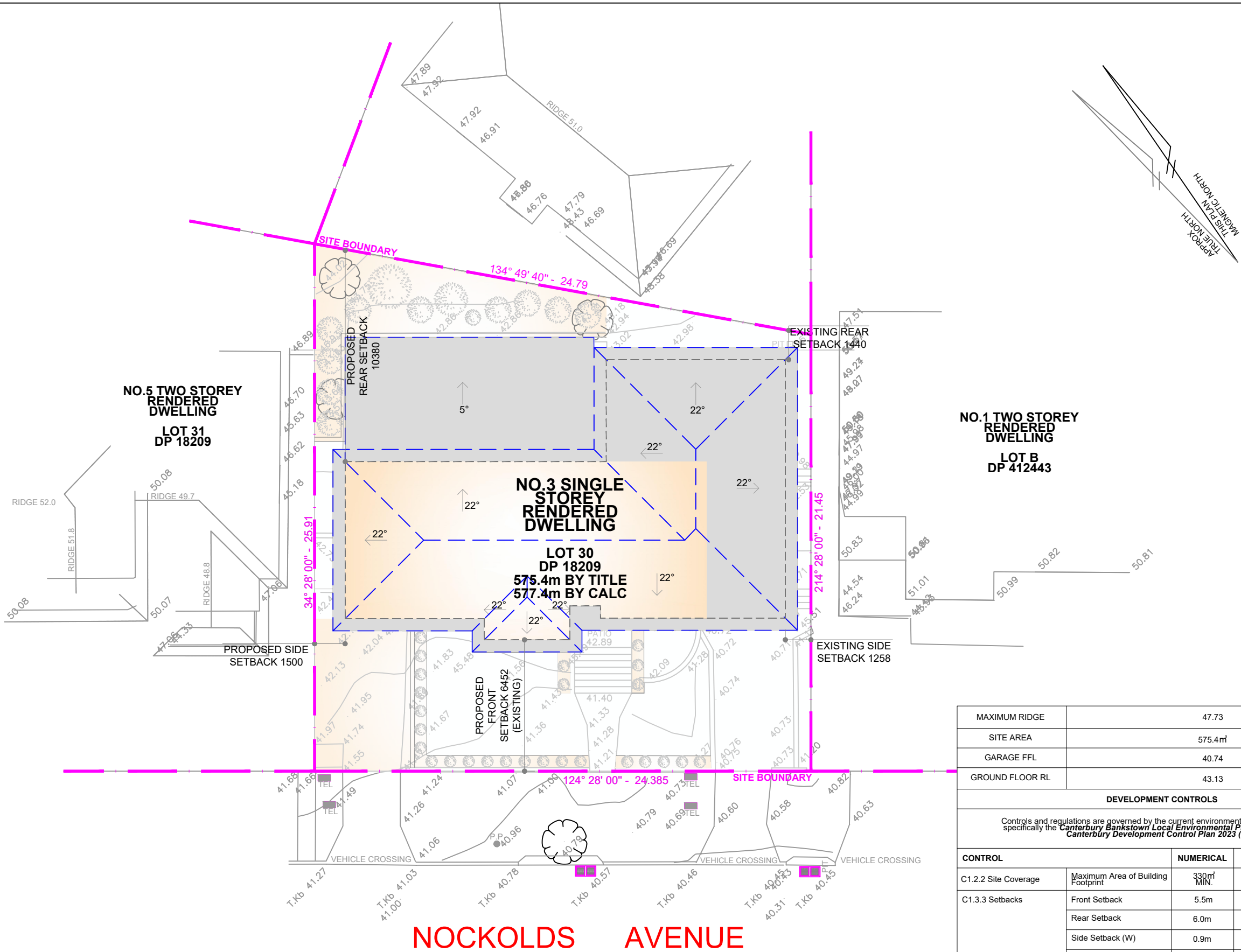
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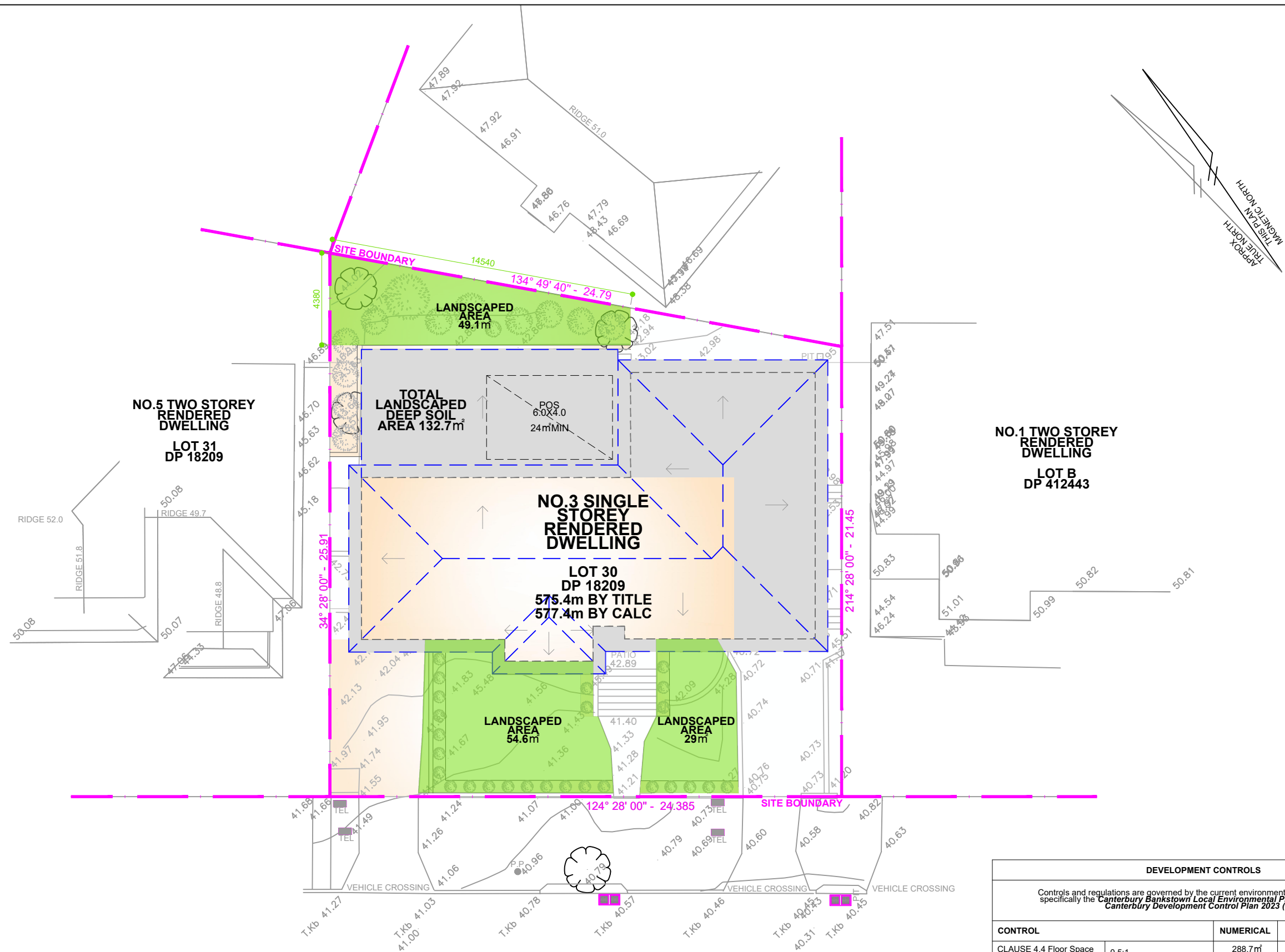
Drawing Title:
SITE PLAN

DESIGNED BY:	SCALE:	JOB NO:	SHEET NO:
DRAWN BY:	1:200	RHA_10	DA-020
CG	DATE:	REVISION:	
	24.09.24	A	

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MAXIMUM RIDGE	47.73			
SITE AREA	575.4m ²			
GARAGE FFL	40.74			
GROUND FLOOR RL	43.13			
DEVELOPMENT CONTROLS				
Controls and regulations are governed by the current environmental planning instruments, specifically the Canterbury Bankstown Local Environmental Plan 2023 (LEP) and the Canterbury Development Control Plan 2023 (DCP) .				
CONTROL	NUMERICAL	PROPOSED	COMPLIANCE	
C1.2.2 Site Coverage	Maximum Area of Building Footprint	330m ² MIN.	214m ²	YES
C1.3.3 Setbacks	Front Setback	5.5m	6.45m	YES
	Rear Setback	6.0m	10.38m	YES
	Side Setback (W)	0.9m	1.5m	YES
	Side Setback (E)	0.9m	1.25m	YES
Clause 4.3 Height of Buildings	Maximum Building Height	9.0m	7.020m	YES



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CONTROL		NUMERICAL	PROPOSED	COMPLIANCE
CLAUSE 4.4 Floor Space Ratio	0.5:1	288.7m ² MIN.	273m ²	YES
LANDSCAPING 450m ² -599m ² 20% of site area	Deep Soil Area	115.48m ² MIN.	132.7m ²	YES
	Minimum Dimension	2.5m		YES
Principle Private Open Space		24m ² MIN.	67m ²	YES

LEGEND:

	PROPOSED ADDITIONS		
	LANDSCAPED AREA	BOW	BOTTOM OF WALL
	EXISTING DWELLING	TOW	TOP OF WALL
	PROPOSED ROOF	RL	REDUCED LEVEL
	BOUNDARY	FCL	FINISHED CEILING LEVEL
	DEMOLITION	FFL	FINISHED FLOOR LEVEL
	EXISTING NGL	NGL	NATURAL GROUND LEVEL

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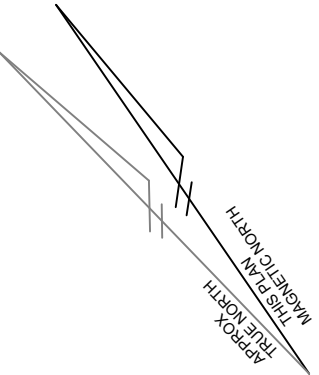
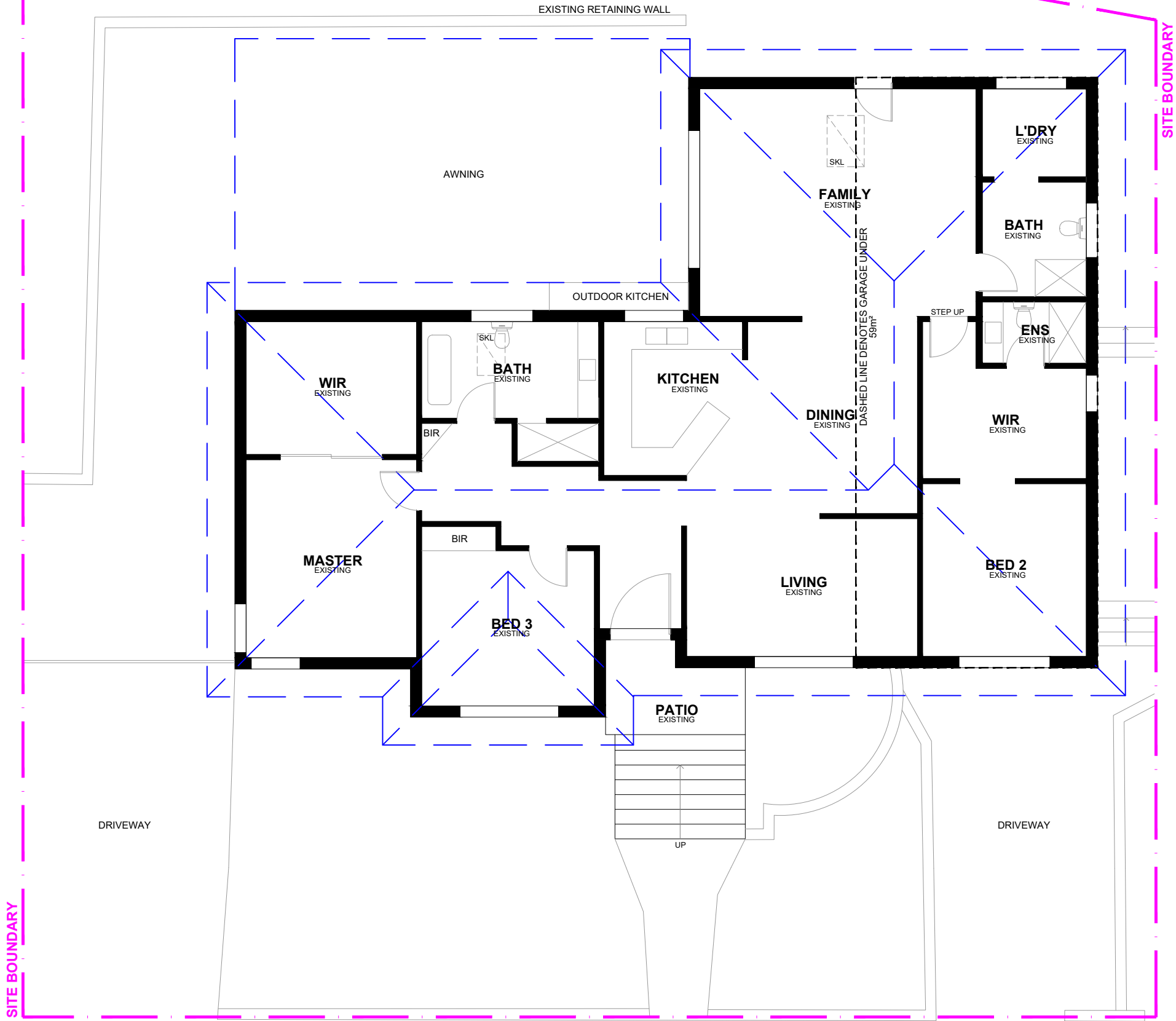
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Drawing Title:
LANDSCAPE PLAN

DESIGNED BY:	SCALE:	JOB NO:	SHEET NO: DA-040
	1:200	RHA_10	
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LEGEND:			
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	PROPOSED WALLS	TOW	TOP OF WALL
	PROPOSED ROOF	RL	REDUCED LEVEL
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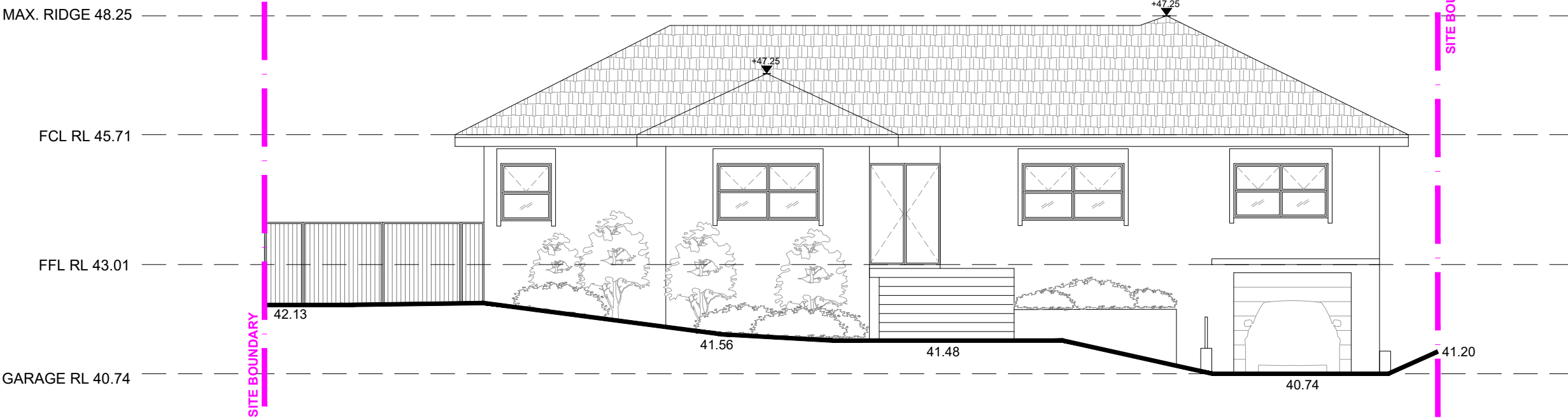
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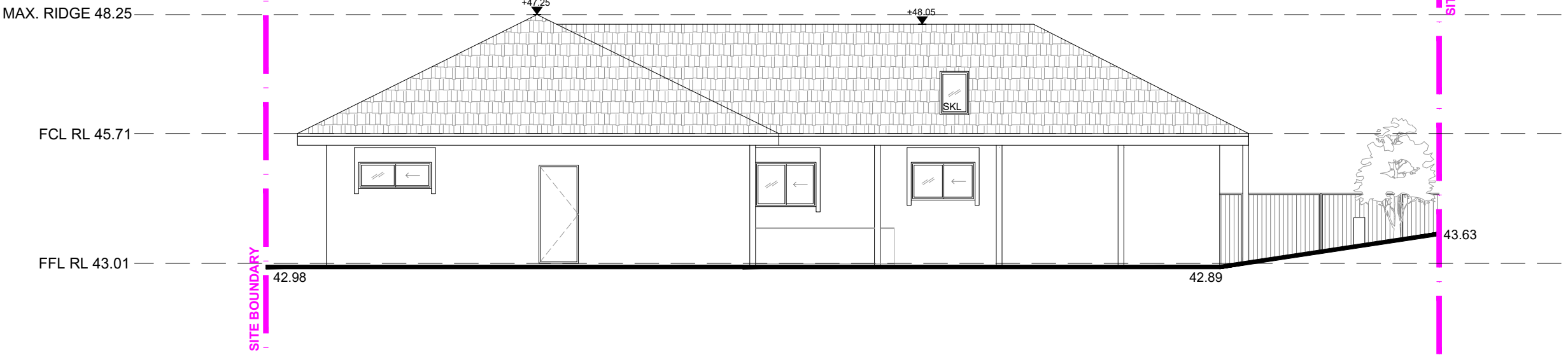
Drawing Title:
EXISTING GROUND FLOOR PLAN

DESIGNED BY: CG	SCALE: 1:100	JOB NO: RHA_10	SHEET NO: DA-050
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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EXISTING
SOUTH ELEVATION
SCALE 1:100



EXISTING
NORTH ELEVATION
SCALE 1:100

LEGEND:			
	PROPOSED ADDITIONS	BOW	BOTTOM OF WALL
	PROPOSED WALLS	TOW	TOP OF WALL
	PROPOSED ROOF	RL	REDUCED LEVEL
	BOUNDARY	FCL	FINISHED CEILING LEVEL
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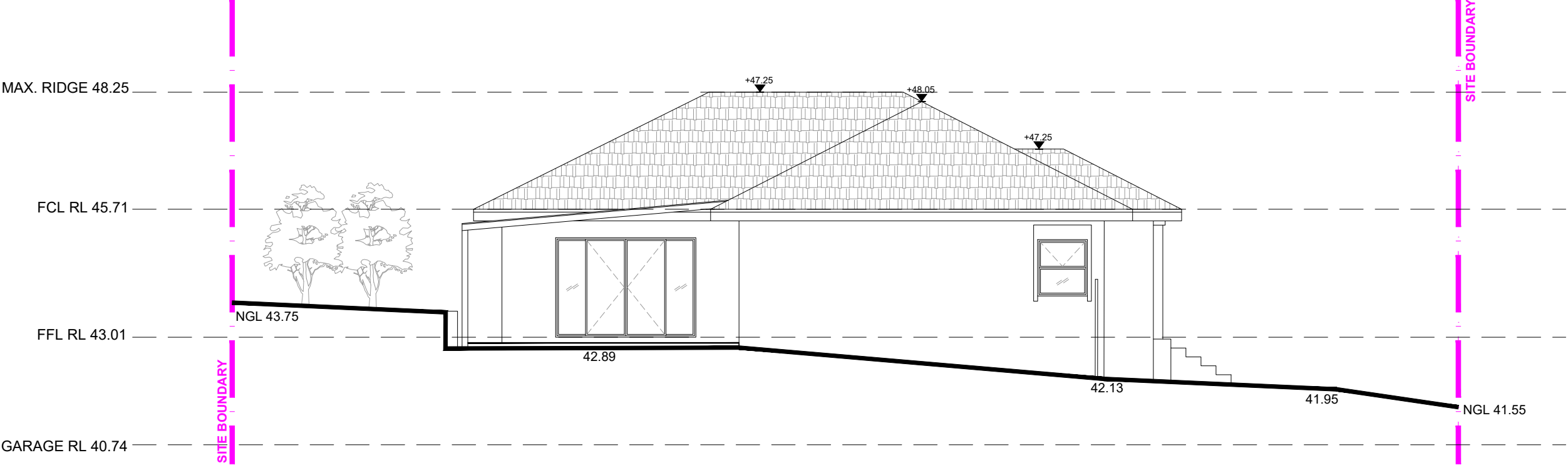
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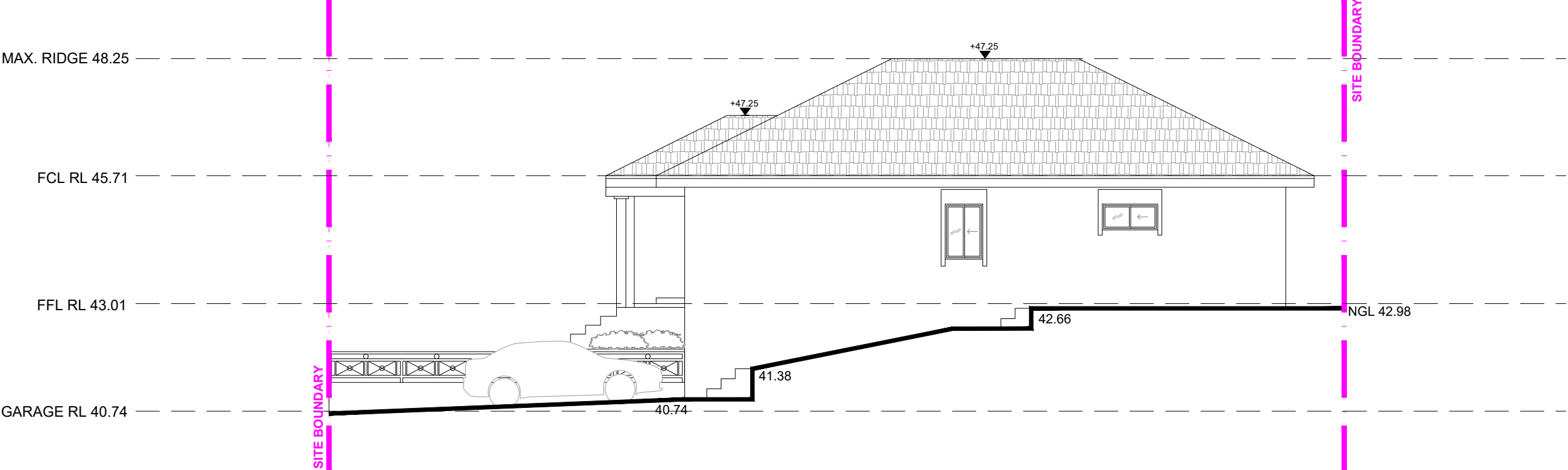
Drawing Title:
EXISTING NORTH & SOUTH ELEVATIONS

DESIGNED BY: CG	SCALE: 1:100	JOB NO: RHA_10	SHEET NO: DA-060
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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PROPOSED
WEST ELEVATION
SCALE 1:100



PROPOSED
EAST ELEVATION
SCALE 1:100

LEGEND:			
	PROPOSED ADDITIONS	BOW	BOTTOM OF WALL
	PROPOSED WALLS	TOW	TOP OF WALL
	PROPOSED ROOF	RL	REDUCED LEVEL
	BOUNDARY	FCL	FINISHED CEILING LEVEL
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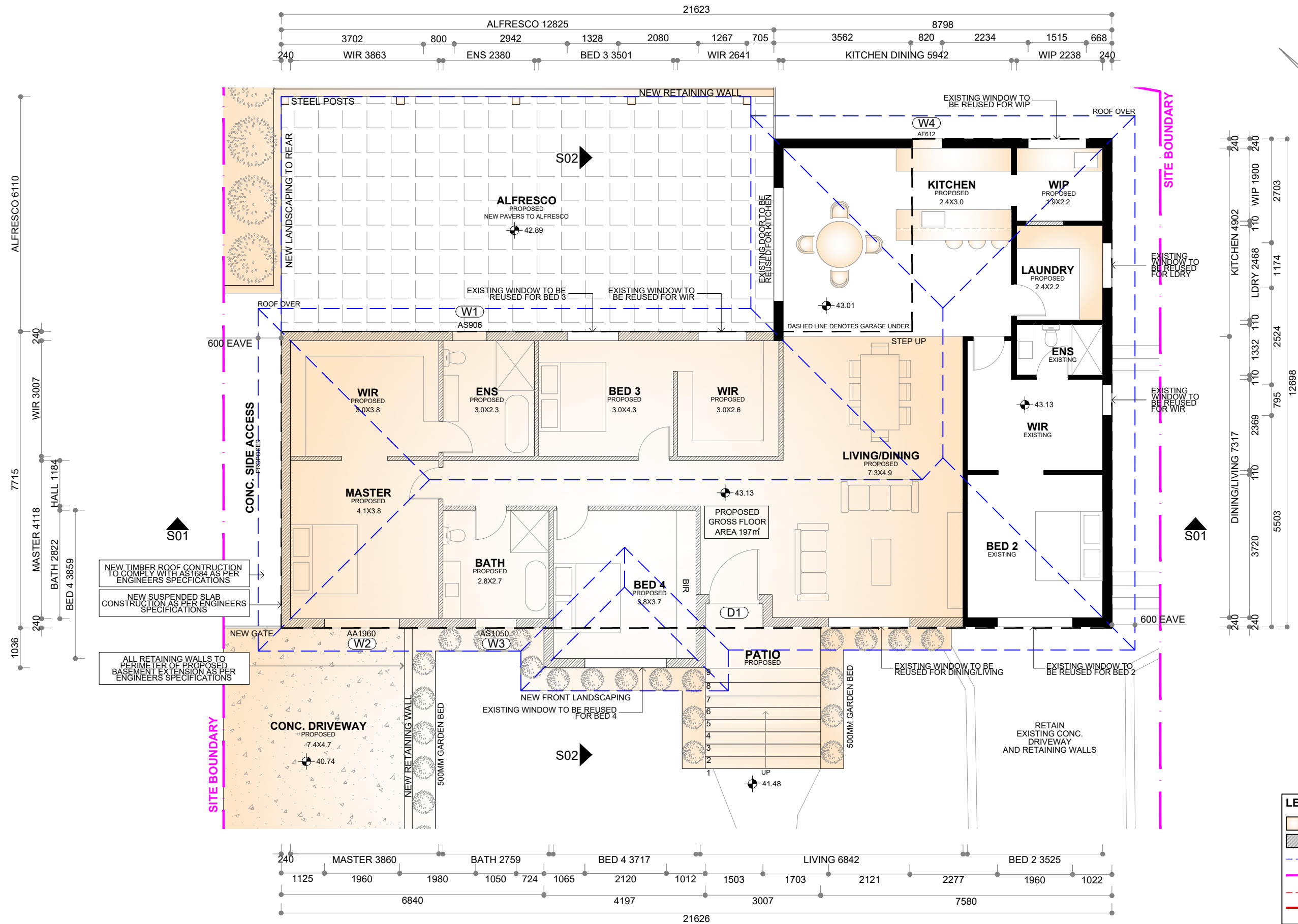
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Drawing Title:
EXISTING EAST & WEST ELEVATIONS

DESIGNED BY: CG	SCALE: 1:100	JOB NO: RHA_10	SHEET NO: DA-070
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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LEGEND:	
	PROPOSED ADDITIONS
	PROPOSED WALLS
	PROPOSED ROOF
	BOUNDARY
	DEMOLITION
	EXISTING NGL
	BOW BOTTOM OF WALL
	TOW TOP OF WALL
	RL REDUCED LEVEL
	FCL FINISHED CEILING LEVEL
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	NGL NATURAL GROUND LEVEL

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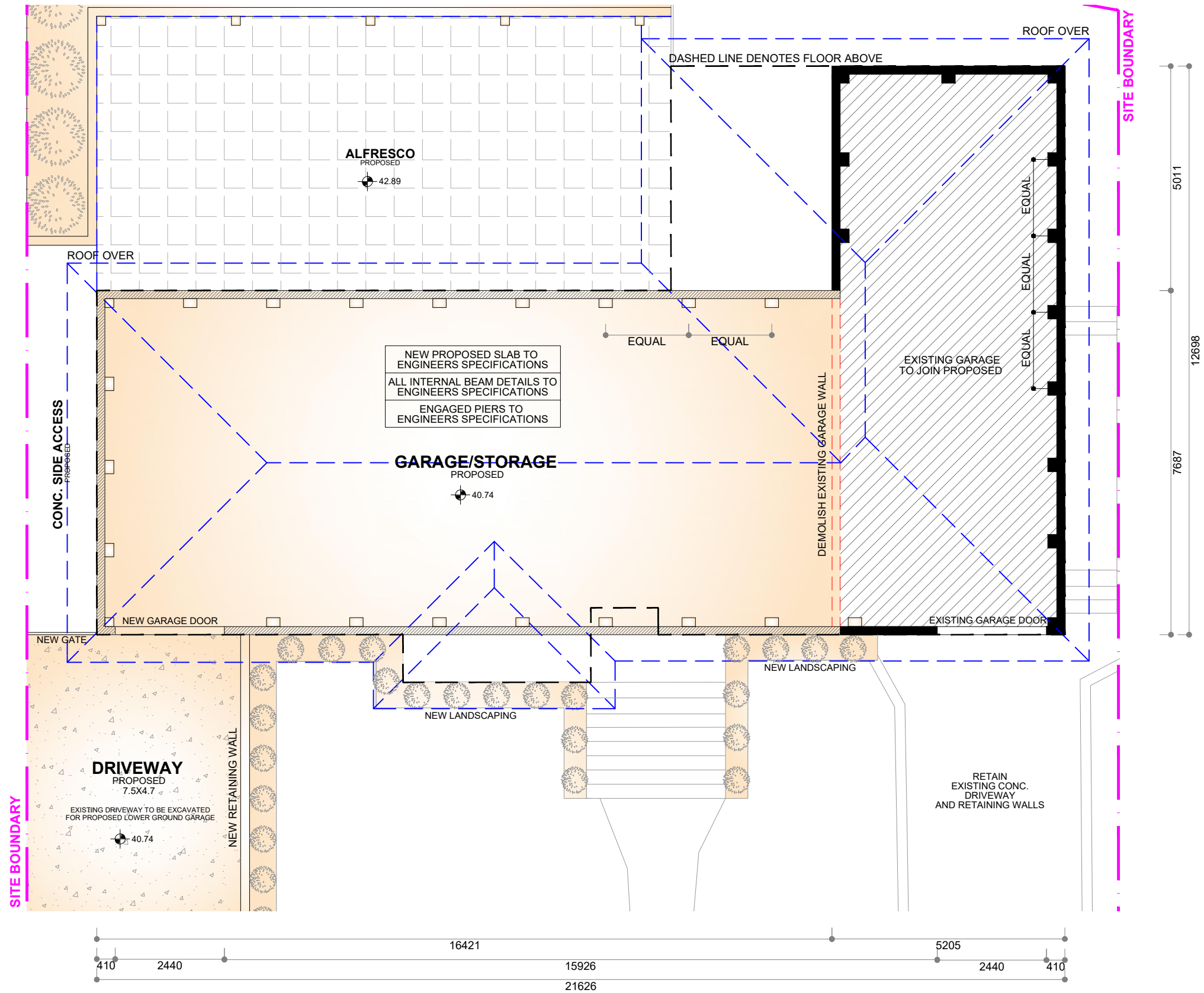
DA	CLIENT REVIEW	24.09.24
CB	CLIENT REVIEW	08.08.24
CB	CLIENT REVIEW	08.08.24
BA	CLIENT REVIEW	24.07.24
BA	CLIENT REVIEW	15.07.24
Issue:	Revision:	Date:

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Drawing Title:
PROPOSED GROUND FLOOR PLAN

DESIGNED BY: CG	SCALE: 1:100	JOB NO: RHA_10	SHEET NO: DA-080
DRAWN BY: CG	DATE: 24.09.24	REVISION: E	

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LEGEND:			
	EXISTING		
	PROPOSED ADDITIONS	BOW	BOTTOM OF WALL
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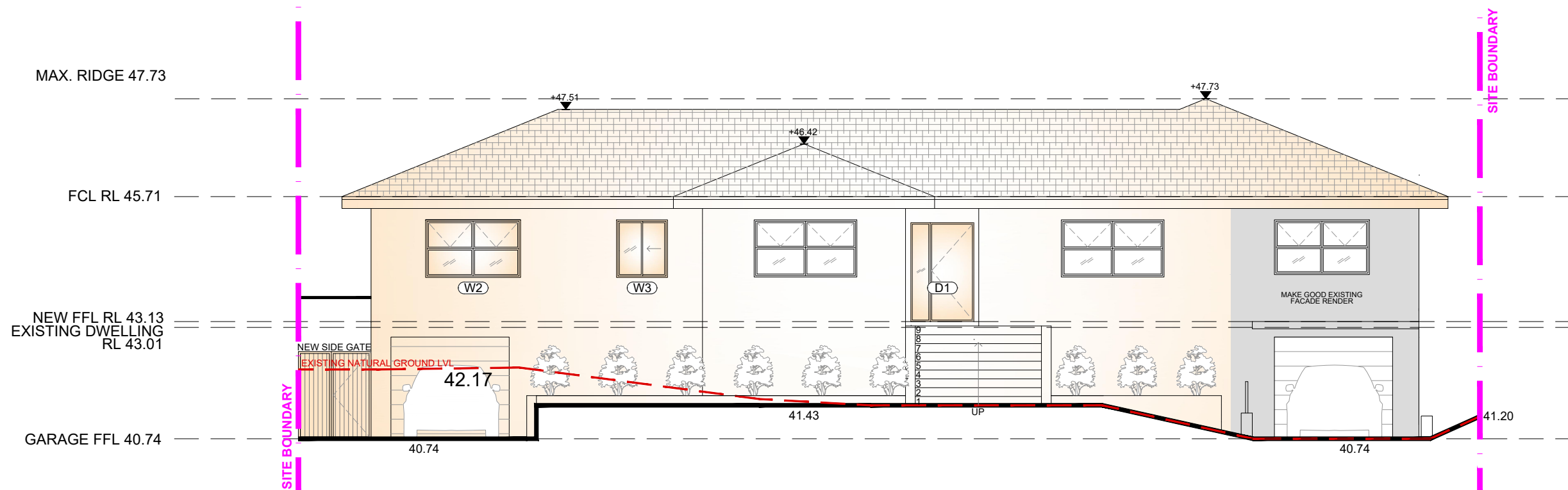
D	DA	24.09.24
C	CLIENT REVIEW	03.09.24
B	CLIENT REVIEW	24.07.24
A	CLIENT REVIEW	15.07.24
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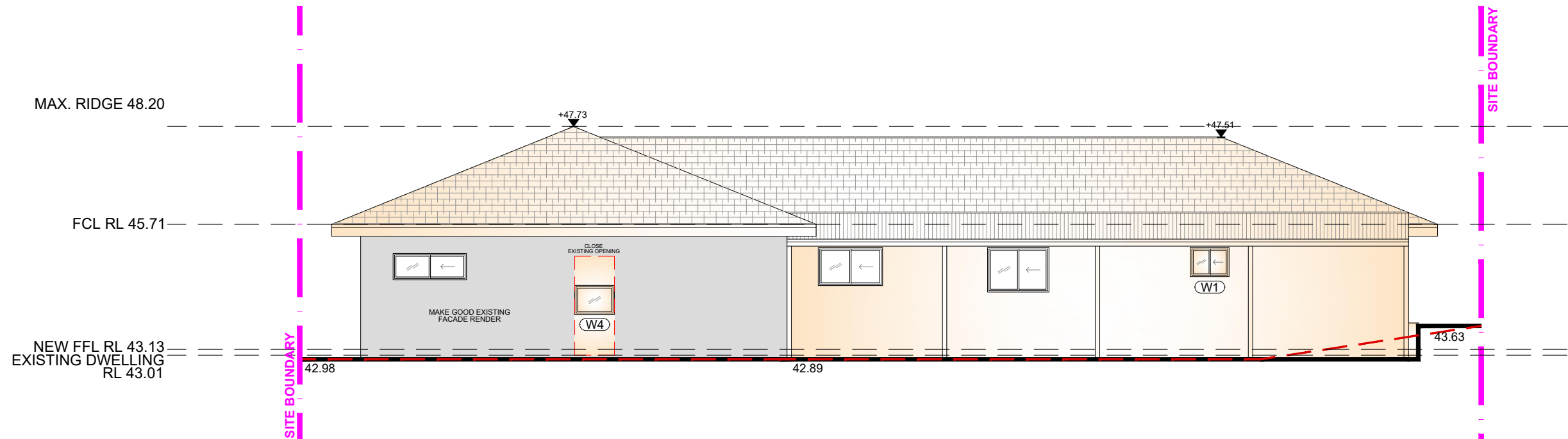
Drawing Title:
PROPOSED GARAGE SUBFLOOR

DESIGNED BY: CG	SCALE: 1:100	JOB NO: RHA_10	SHEET NO: DA-090
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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PROPOSED
SOUTH ELEVATION
SCALE 1:100



PROPOSED
NORTH ELEVATION
SCALE 1:100

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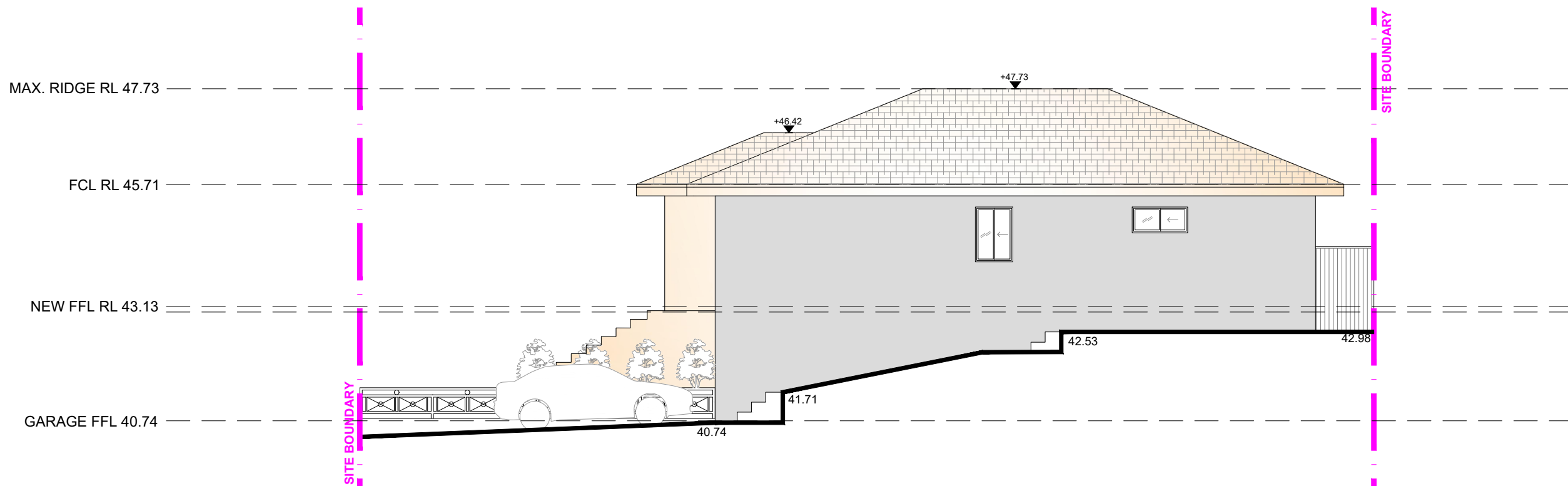
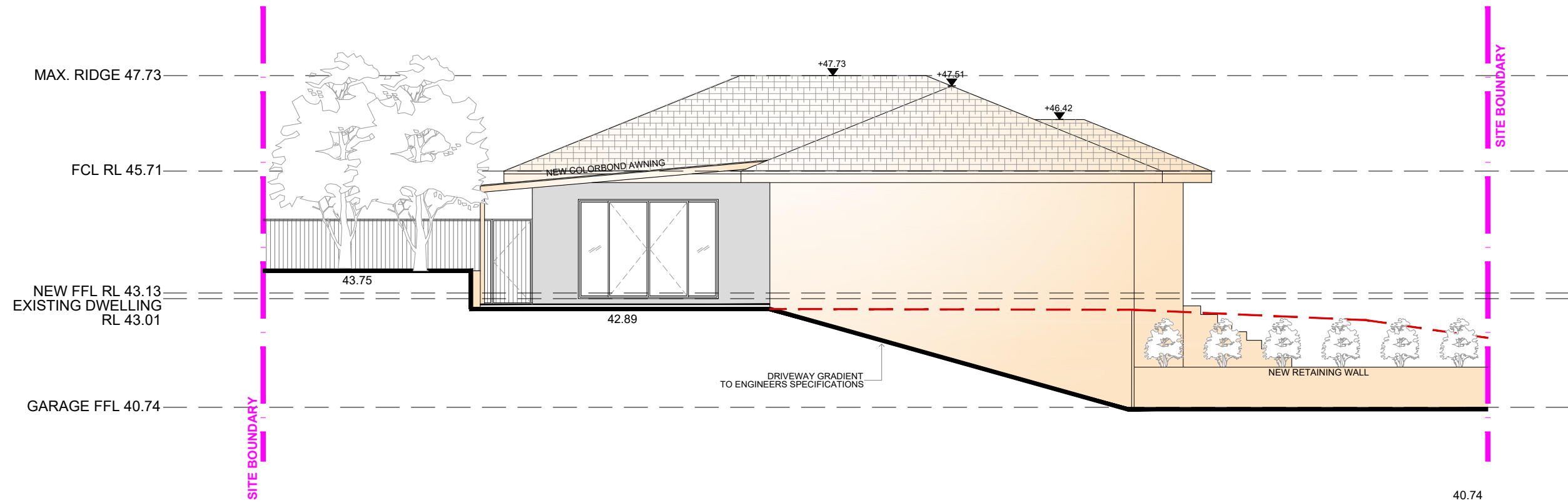
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Drawing Title:
PROPOSED NORTH & SOUTH ELEVATIONS

DESIGNED BY: CG	SCALE: 1:100	JOB NO: RHA_10	SHEET NO: DA-100
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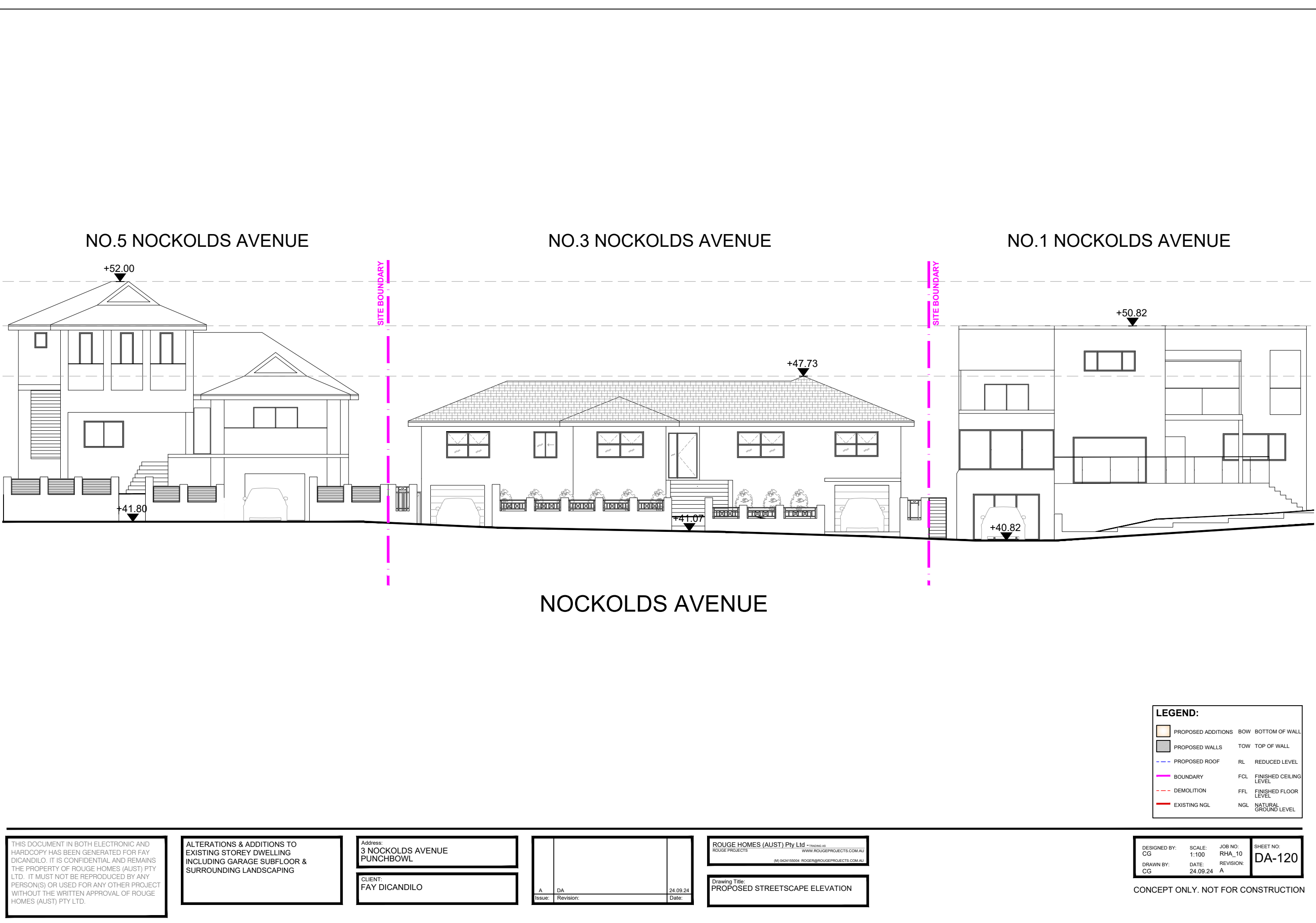
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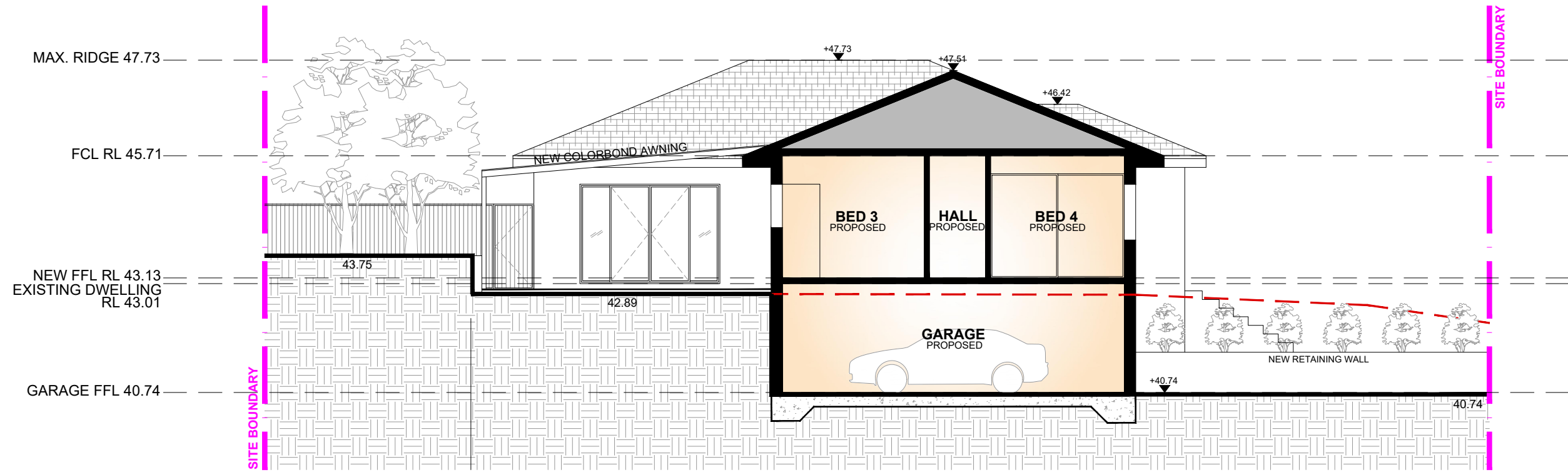
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Drawing Title:
PROPOSED EAST & WEST ELEVATIONS

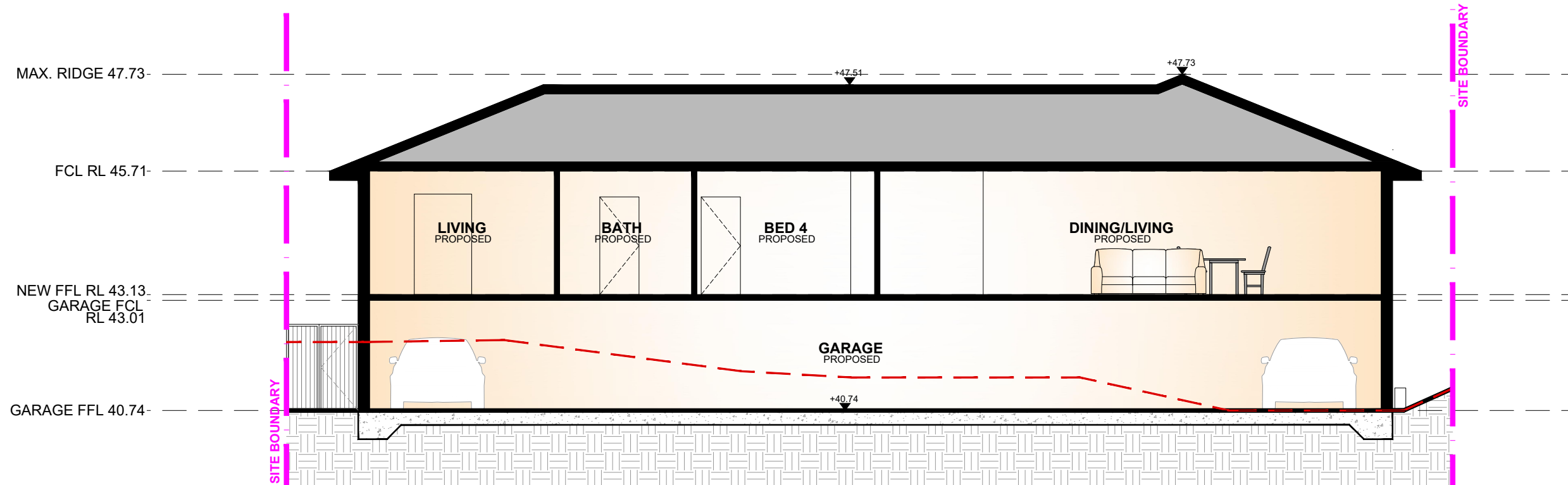
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DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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PROPOSED
SHORT SECTION 1
SCALE 1:100



PROPOSED
LONG SECTION 2
SCALE 1:100

LEGEND:	
	PROPOSED ADDITIONS
	PROPOSED WALLS
	PROPOSED ROOF
	BOUNDARY
	DEMOLITION
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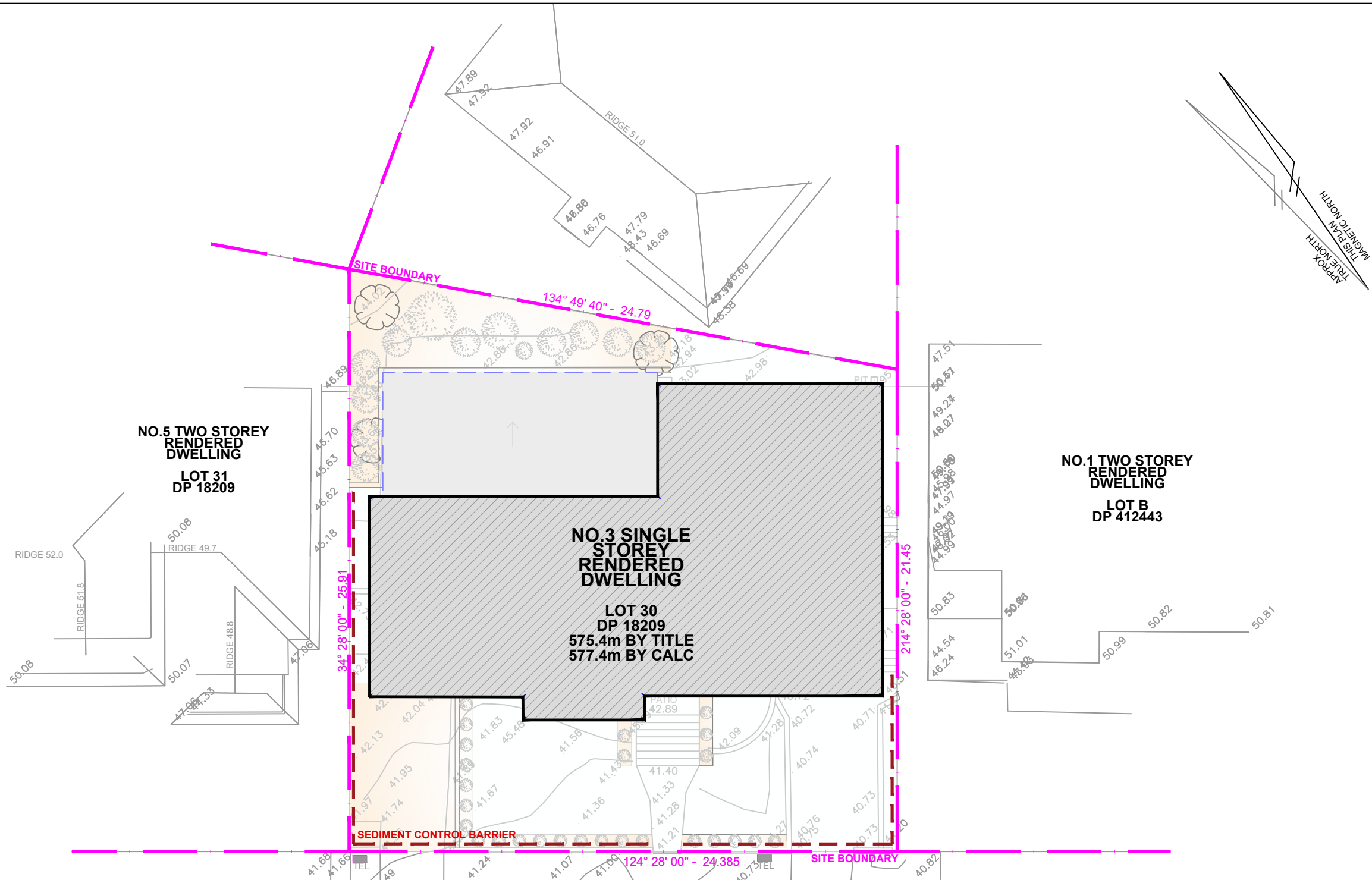
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Drawing Title:
PROPOSED SECTIONS

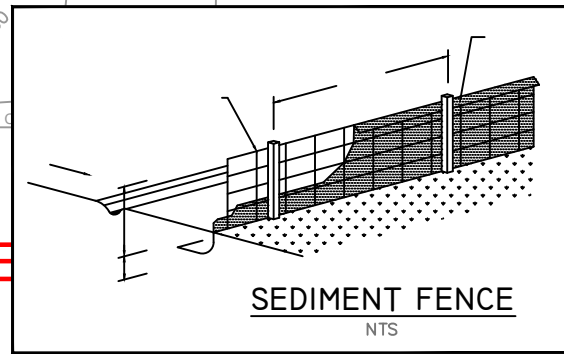
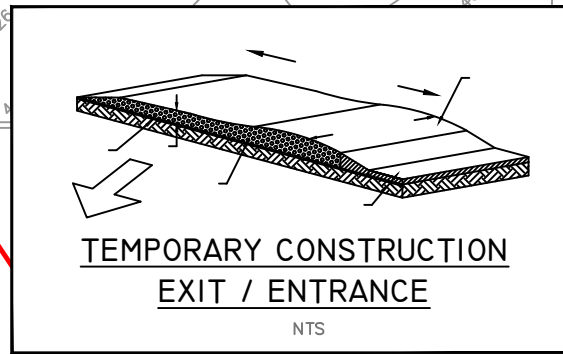
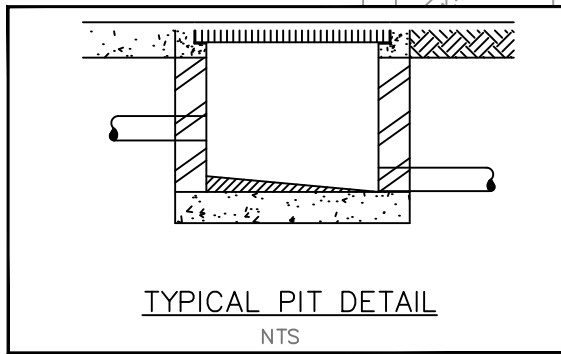
DESIGNED BY: CG SCALE: 1:100 JOB NO: RHA_10
DRAWN BY: CG DATE: 24.09.24 REVISION: A

SHEET NO:
DA-130

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LEGEND:	
	PROPOSED ADDITIONS
	PROPOSED WALLS
	PROPOSED ROOF
	BOUNDARY
	DEMOLITION
	EXISTING NGL
	BOW BOTTOM OF WALL
	TOW TOP OF WALL
	RL REDUCED LEVEL
	FCL FINISHED CEILING LEVEL
	FFL FINISHED FLOOR LEVEL
	NGL NATURAL GROUND LEVEL



NB: PROVIDE SEDIMENT FENCE ALONG THE FULL LENGTH OF THE FRONT BOUNDARY AND CLEAN AND MAINTAIN DAILY.

NOTES: SOIL & WATER MANAGEMENT

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOOPLES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
6. NO MATERIAL TO BE STORED ON FOOTPATH.
7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A \$1500 FINE.

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ALTERATIONS & ADDITIONS TO EXISTING STOREY DWELLING INCLUDING GARAGE SUBFLOOR & SURROUNDING LANDSCAPING

Address:
3 NOCKOLDS AVENUE
PUNCHBOWL

CLIENT:
FAY DICANDILO

A	DA	24.09.24
Issue:	Revision:	Date:

ROUGE HOMES (AUST) Pty Ltd
ROUGE PROJECTS
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Drawing Title:
EROSION SEDIMENT CONTROL PLAN

DESIGNED BY: CG	SCALE: 1:200	JOB NO: RHA_10	SHEET NO: DA-150
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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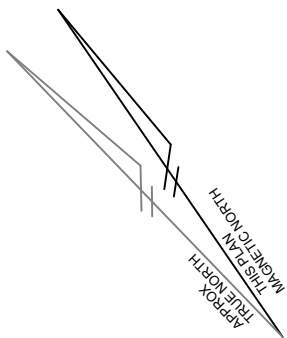
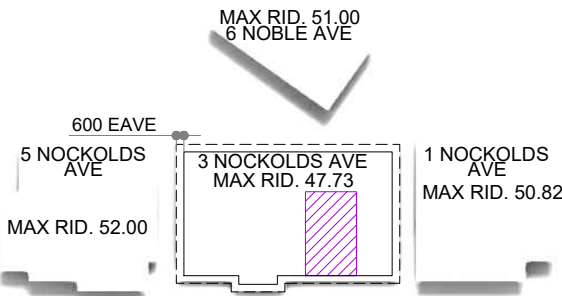
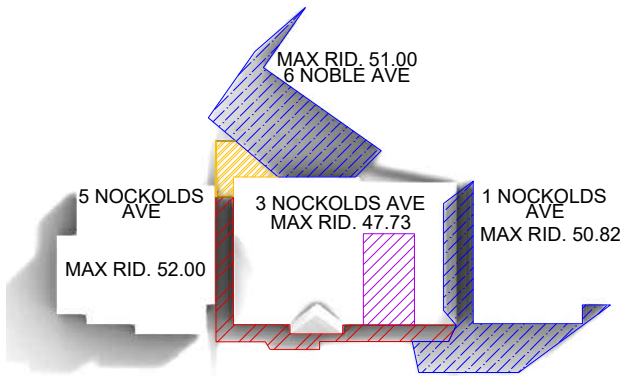
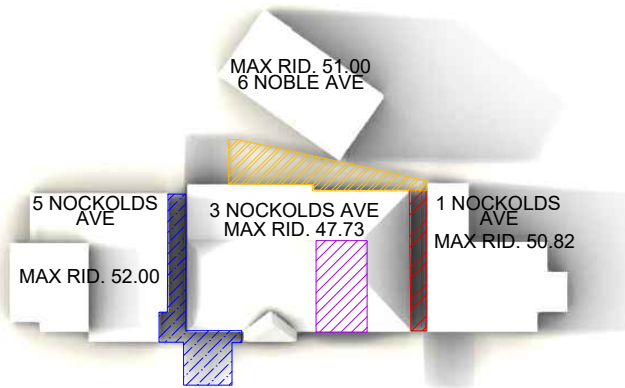
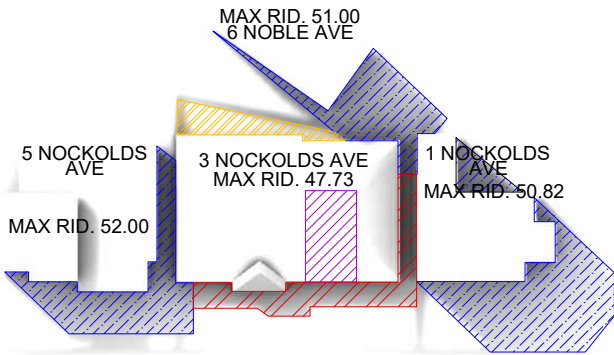
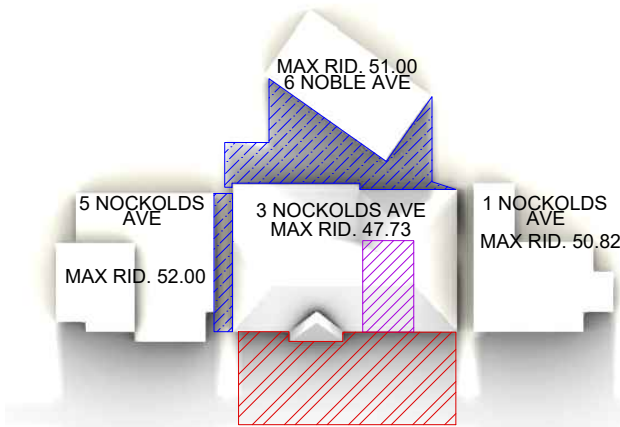
CANTERBURY-BANKSTOWN COUNCIL
2.10 SOLAR ACCESS AND OVERSHADOWING

Controls and regulations are governed by the current environmental planning instruments, specifically the **Canterbury Development Control Plan 2023 (DCP)**.

SEC.	DEVELOPMENT CONTROLS	COMPLIES
C1	Where site orientation permits at least primary living areas of dwellings must receive a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June. Where existing overshadowing by buildings and fences is already greater than this control, sunlight is not to be reduced by more than 20%.	YES
C2	Principle areas of private open space must receive a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June to at least 50% of the open space surface area. Where existing overshadowing by buildings and fences is already greater than this control, sunlight is not to be reduced by more than 20%.	YES
C3	Proposed development must retain a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June for existing primary living areas and to 50% of the principal private open space.	YES
C4	If a neighbouring dwelling currently receives less than 3 hours of sunlight, then the proposed development must not reduce the existing level of solar access to that property.	YES
C5	Sunlight to solar hot water or photovoltaic systems on adjoining properties must comply with the following: (a) Systems must receive at least 3 hours of direct sunlight between 8.00am and 4.00pm on 21 June. (b) If a system currently receives less than 3 hours sunlight, then the proposed development must not reduce the existing level of sunlight.	YES
C6	Clothes drying areas on adjoining residential properties must receive a minimum of 3 hours of sunlight on 21 June.	YES
C7	Windows and openings shall be appropriately located and shaded to reduce summer heat load and maximise sunlight in winter.	YES
C8	Use shading devices to allow direct sunlight to enter and heat a building in winter and prevent direct sunlight entering and heating the building in summer. Devices include eaves, awnings, shutters, louvres, pergolas, balconies, colonnades or external planting.	YES
C9	Provide horizontal shading to north-facing windows and vertical shading to east or west windows.	YES
C10	Use moveable shading devices on large windows facing east and west that are capable of covering 100% of glazed areas. Eaves shall be a minimum of 350mm wide and allow for an overhang of approximately 65 degrees above the horizontal.	YES
C11	Avoid reducing internal natural daylight or interrupting views with shading devices.	YES
C12	Use double-glazing, solar coated windows, curtains, or internal shutters to prevent heat loss and provide extra summer protection.	YES
C13	Use high performance glass with a reflectivity below 20%.	YES
C14	Minimise external glare by avoiding reflective films and use of tint glass.	YES
C15	Use of draft insulation around windows and doors.	YES

LEGEND

- MAIN LIVING AREA (HABITABLE)
- NEIGHBOURING SHADOWS
- PROPOSED DEVELOPMENT SHADOWS
- SUNLIGHT TO PRINCIPAL PRIVATE OPEN SPACE



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ALTERATIONS & ADDITIONS TO EXISTING STOREY DWELLING INCLUDING GARAGE SUBFLOOR & SURROUNDING LANDSCAPING

Address:
3 NOCKOLDS AVENUE
PUNCHBOWL

CLIENT:
FAY DICANDILO

A	DA	24.09.24
Issue:	Revision:	Date:

ROUGE HOMES (AUST) Pty Ltd
ROUGE PROJECTS
(M) 0424155004 ROGER@ROUGEPROJECTS.COM.AU

Drawing Title:
PROPOSED SHADOW DIAGRAMS

DESIGNED BY: CG
SCALE: 1:200
JOB NO: RHA_10
DRAWN BY: CG
DATE: 24.09.24
REVISION: A

SHEET NO:
DA-160

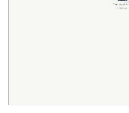
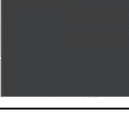
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SCHEDULE OF MATERIAL, COLOURS & FINISHES3 NOCKOLDS AVENUE, PUNCHBOWL

PROJECT: ALTERATIONS & ADDITIONS TO EXISTING SINGLE STOREY DWELLINGCLIENTS: FAYROUZE DICANDILO

RENOVATION EXTENSION					
DESCRIPTION	SPECIFICATION	SIZE	COLOUR	NOTES	IMAGE
RENDER	DULUX		WOODLAND GREY		
WINDOWS			BLACK	MATCH TO EXISTING	
EAVES			VIVID WHITE	MATCH TO EXISTING	
FASCIA	COLORBOND		MONUMENT	MATCH TO EXISTING	
GUTTER	COLORBOND		MONUMENT	MATCH TO EXISTING	
DOWNPIPES	COLORBOND		MONUMENT	MATCH TO EXISTING	
ROOF TILES			MONUMENT	MATCH TO EXISTING	
AWNING	COLORBOND				

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EXISTING STOREY DWELLING
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Drawing Title:
SCHEDULE OF COLOURS & FINISHES

DESIGNED BY: CG	SCALE: NTS	JOB NO: RHA_10	SHEET NO: DA-170
DRAWN BY: CG	DATE: 24.09.24	REVISION: A	

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